

Quinquennial Report

Broadford Church



Church of Scotland Lochcarron and Skye Presbytery
October 2016

Preamble

Rural Design Architects were commissioned in May 2016 by the Lochcarron and Skye Presbytery of the Church of Scotland to undertake quinquennial surveys of their properties, including churches, halls and manses.

The purpose of the quinquennial report is twofold:

- i) to accurately record the condition of the building and make recommendations for maintenance works
- ii) to act as a reference document permitting changes in the condition of the building to be monitored in the long term.

Non-intrusive visual inspections have been undertaken and reports prepared based on the Church of Scotland General Trustees Guidelines for the Preparation of Quinquennial Reports.

PROPERTY BROADFORD CHURCH

Introduction

The following quinquennial report on Broadford Church, Broadford, Isle of Skye, has been carried out for the Lochcarron and Skye Presbytery of the Church of Scotland by Rural Design, The Green, Portree, Isle of Skye.

The survey was undertaken by Mr. Nick Thomson, accredited conservation architect, on 18th October 2016

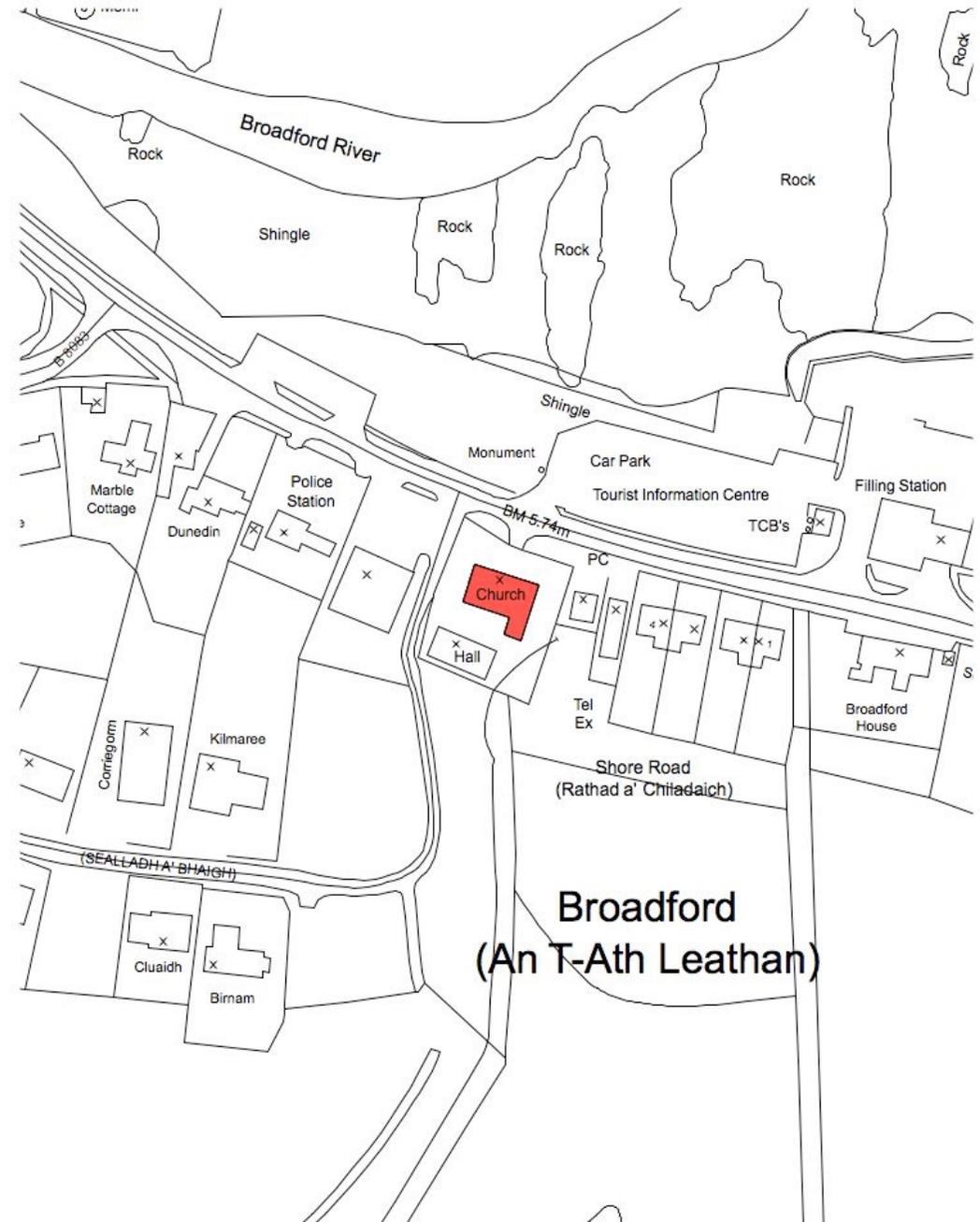
General Description of Building

The church is a simple rectangular box with slate roof and masonry walls. It was built in 1839 - 41, repaired and reglazed in 1884 and altered again in 1924-25.

The building comprises an entrance foyer enlarged to provide a meeting space with kitchen and toilet, under a raised gallery. There is a wing on the south east side providing meeting room and additional toilet.

Summary of Urgent Work

Broadford Church is in reasonable condition. There are a number of maintenance tasks which should be carried out on a regular basis to address minor issues of penetrating damp. It was noted that the solum is somewhat damp, however we feel that this would be a difficult issue to rectify without major disruption and it may be better to monitor the building to ensure there are no ongoing problems



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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
<u>EXTERNAL</u>					
ROOFS	Pitched slate roof				
Roof Coverings	Ballachulish slate with clay ridge tiles	3no. slipped slates at rear roof and slates disturbed or loose at apex of rear wing roof. 1 no. broken ridge tile on main roof, several capping pieces broken on ridge of extension roof. The north facing front roof has quite a lot of moss growth, this is not necessarily a problem unless there is a risk of gutters and downpipes getting blocked.	Replace loose slates. Repair broken ridge tiles	D	500
Flashings	Lead valleys at junction of extension roof with main roof	Satisfactory			
Skews and parapets	Stone skews with aluminium cappings.	No evidence of problems			

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
Rainwater goods	UPVC gutters and downpipes	Generally satisfactory. Spillage from gutter at rear elevation south end. Fall on north side of wing needs to be adjusted.	Adjust fall of gutter at rear elevation, and ensure it is suitably located. Seal joint and adjust fall on north side of extension where there is a drip.	E	300
Spire, bellcote, finials	Stone bellcote at north gable end Stone finial on south gable	Minor gaps in pointing of bellcote and apparent crack to stone cope under bell. No sign of water ingress.	Minor re-pointing	E	600
WALLS	Masonry walls with tooled sandstone quoins and margins				
Wall structure	Stonework	Minor cracks below both rear windows, apparent in render.	Minor picking and pointing	E	500
Wall finish	Stonework is flush pointed and painted on the north and east elevations. Wet dash render on south and west elevations.	Boss render below both rear (south) windows	Patch repair	E	500
Metalwork etc	Iron sub-floor vents Ventilation terminal on church roof on church	Reasonable condition - minor rust			
CHIMNEYS AND FLUES					

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
EXTERNAL WOODWORK					
DOORS AND WINDOWS	UPVC windows to church UPVC front and rear door Timber windows to rear wing	UPVC windows and doors appear reasonable Timber windows in poor condition	Replace 2 no. timber windows	D	800
EXTERNAL PAINTING	Masonry paint to stonework and render walls	Moderate to poor condition, in particular on rear wing and above rear door.	Re-paint	D	3,500
EXTERNAL DRAINAGE	Downpipes discharge to gulleys. SVP concealed and terminates at slate vent.	At there rear wing, the downpipe stops short of the gulley	Extend downpipe and replace gulley grating.	D	200
GARDEN AND GROUNDS	Gravel entrance area, grass to rear garden ground, hedge and a number of mature trees				
FENCES, GATES, WALLS	Rendered blockwork to front and north boundary	Minor cracks to front. Substantial crack to wall at west side	Pick and point cracks	D	500
<u>INTERNAL</u>					

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
ROOF SPACE	The main church space is open to the underside of the roof, and comprises 6 principal collar trusses each with a curved laminated bottom tie. The extension wing has trussed rafters	Minor woodworm infestation	Woodworm treatment	D	1000
Insulation	No insulation in main roof or wing		It would be possible to include glasswool insulation quilt to the attic space in the wing, if adequate ventilation is ensured.	D	500
GROUND FLOOR	Suspended timber floor with timber floorboards, on joists, supported on wall plates on dwarf walls.	There was limited access to the floor space, however no damp proof course was noted under the wall plate where visible.			
Solum	Solum visible at east end comprising rubble/ sand infill.	Solum appeared to be slightly damp	Ensure vents are kept clear and monitor solum for any damp related problems.		
INTERMEDIATE FLOORS Structure					
Ceilings	Plasterboard ceiling under balcony and in rear wing. Timber boarded ceiling in main church	Satisfactory			

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
STAIRS	Stairs to gallery space	Satisfactory, some dampness in external wall where exposed in understair cupboard	Dampness may be associated with cracks in render, and lack of a drip on the cill. Render repairs externally as best as possible and keep cupboard ventilated.		
ROOMS Partitions, finishes, cornices, doors, ironmongery etc ENTRANCE FOYER	Foyer area with adjacent kitchen space. Plasterboard lined and with dado rail.	Damp meter reading in area under gable window probably associated with external wall finish noted above.			
GALLERY	Timber panelling to dado height with plasterboard lining above.	Isolated damp meter readings over gable window and linings, plus around foot of truss at north end.	Check pointing around bellcote (as noted above) and monitor		
ENTRANCE WC	Fully accessible w.c.in entrance foyer	Generally satisfactory, some condensation noted at rear of w.c.			
CHURCH SPACE	Timber lining to dado height with plasterboard above.	Some moisture meter readings in bottom of timber linings, with minor area of rot apparent at the base of the west wall.	Dampness associated with cracks and boss sections in render, and possible rising damp from solum. Carry out external repairs and monitor. There is a possibility of installing an electro-osmotic damp proof course in the future, however this would be very disruptive to floor and walls.		
REAR CORRIDOR	Timber lining to dado height with plasterboard above.	Minor dampness around external door	Fix external gutter as noted above		

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
MEETING ROOM	Plasterboard lined	Satisfactory			
REAR WC	Plasterboard lined	Some dampness below window	Re-seal when window replaced	D	200
BASEMENT	Open space under wing for former boiler	This area is very wet, with no external door, no solum and including redundant boiler equipment.	Improve perimeter drainage, remove redundant fittings, block off and ventilate new solum.	D	600
INTERNAL DECORATION	Emulsion paint to walls Clear varnish to woodwork in church Gloss paint to panelling in rear wing	Reasonable condition Some marks on rear panelling			
SERVICES Heating - source and distribution	Electric panel heaters Electric bar heaters under pews Convactor heater over door	Appear satisfactory			
Electrics - Consumer unit, sockets, switches, lighting	Wiring appears recent				
Gas - LPG	-				
Water and drainage hwc pipework insulation	Pipes not lagged in kitchen Instantaneous water heater located under stair	Satisfactory			

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ELEMENT	DESCRIPTION	CONDITION	RECOMMENDED REPAIRS	PRIORITY	COST
Alarm systems heat smoke CO	Smoke alarms in kitchen and gallery	Satisfactory			
FIXTURE AND FITTINGS	Timber pulpit and rear panelling	Minor damage to panelling	Minor repair		
MISCELLANEOUS					
ASBESTOS	None noted				
ACCESSIBILTY	Accessible w.c. Ramped entrance with low threshold to main door				
FIRE PRECAUTIONS Equipment and risk assessment Escape lighting	Fire extinguisher Emergency lighting	Serviced 12/15			
LIGHTNING CONDUCTOR					
PROTECTED SPECIES					

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Totals

Urgent: £ -

Essential: £ 1,900

Desirable: £ 7,800

Notes

The priority for works to be carried out is as follows; U = Urgent (remedial work necessary at the time of inspection which we would advise to be carried out without delay); E = Essential (works which should be carried out within 5 years or sooner where noted); D = Desirable (works which should be carried out at some time in the future when funds permit).

Costs shown are indicative and it should be noted that these may vary further to opening up and detailed investigation and specification. Costs are exclusive of VAT and any fees. Work may be subject to the requirements of the CDM regulations, which impose client duties with regard to health and safety management, risk assessments should be carried out and any work at height undertaken with suitable platforms and equipment.

In carrying out the survey we did not lift floorboards or take down any internal linings etc. Examination of roofs, finials and walls at high level was undertaken with binoculars. We have carried out a simple visual inspection of services installations and have not carried out any tests or or detailed checks. Such work should be carried by a registered electrician or engineer as appropriate.

Report sign off

I certify that I personally assessed the condition and prepared the report

Signed

for Rural Design

Date

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North elevation



West gable

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South East corner

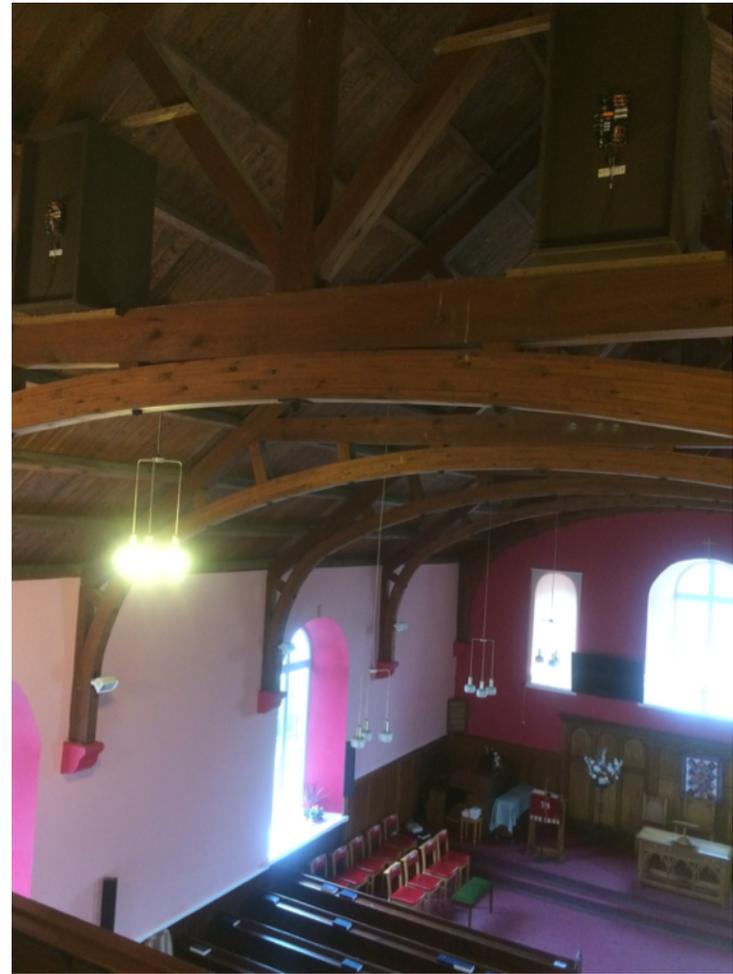


South elevation and wing

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Interior looking towards gallery



Interior view from gallery

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Damp affected lining boards on south elevation



Rotten timber window frames and poor paint finish on south wing

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Bellcote from North side



Bellcote west elevation

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Cracked and defective render below window at south elevation



Loose slates and damaged ridge tiles on South wing

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Damaged paint finish at South East corner of main church



Cracks to boundary wall at west end